


MARY LOUISE NICHOLSON
COUNTY CLERK

AFTER RECORDING RETURN TO:

**Judd A. Austin, Jr.
Henry Oddo Austin & Fletcher, P.C.
1700 Pacific Avenue
Suite 2700
Dallas, Texas 75201**

STATE OF TEXAS §
 §
COUNTY OF TARRANT §

**PROPERTY OWNERS' ASSOCIATION
MANAGEMENT CERTIFICATE
FOR
HENCKEN RANCH ESTATES
PROPERTY OWNERS ASSOCIATION**

This PROPERTY OWNERS' ASSOCIATION MANAGEMENT CERTIFICATE (this "Certificate") is made on behalf of HENCKEN RANCH ESTATES PROPERTY OWNERS ASSOCIATION, a Texas non-profit corporation (the "Association").

W I T N E S S E T H :

WHEREAS, John and Barbara Hencken, as Declarant, previously placed of record that certain Declaration of Covenants, Conditions and Restrictions for Hencken Ranch Estates, recorded on June 7, 2017, under Instrument No. D217129152 in the Official Public Records of Tarrant County, Texas (the "Declaration") including any amendments thereof or supplements thereto are incorporated herein for all purposes.

WHEREAS, the Association has caused this Certificate to be prepared and filed in accordance with the provisions of the Texas Residential Property Owners Protection Act as provided in Section 209.004 of the Texas Property Code.

NOW, THEREFORE, the undersigned hereby certifies as follows on behalf of the Association:

1. **Name of the Subdivision.** The name of the subdivision which is the subject of the Declaration is Hencken Ranch Estates.
2. **Name of the Association.** The name of the Association is Hencken Ranch Estates Property Owners Association.
3. **Recording Data for the Subdivision.** The recording data for Hencken Ranch Estates is recorded in Volume 7003, Page 226; Volume 12037, Page 1665; Volume 12100, Page

1990, and under Instrument No. D205036196, respectively, in the Plat/Map Records of Tarrant County, Texas.

4. **Recording Data for the Declaration.** The Declaration is recorded under Instrument No. D217129152 and Instrument No. D219044324 in the Official Public Records of Tarrant County, Texas, and any amendments thereof or supplements thereto.

5. **Name and Contract Information for the Association.** The current mailing address for the Association is c/o President Michelle Parsons, 8070 Cutter Corral Road, Fort Worth, Texas 76126, hoa.board@hencken.org, and telephone (817) 614-6352.

6. **Website.** The Association's website may be found at www.hencken.org.

7. **Fees Due Upon Property Transfer.** Fees charged relating to a property transfer are as following:

- (i) \$375.00 as resale certificate/disclosure/estoppel fee; and
- (ii) \$75.00 for resale certificate update fee; and
- (iii) \$350.00 transfer fee following a trustee sale or foreclosure.

8. **Resale Certificates and Other Information.** Resale Certificates and other information regarding the Association may be requested by contacting the Association c/o President Michelle Parsons, 8070 Cutter Corral Road, Fort Worth, Texas 76126, email hoa.board@hencken.org, and telephone (817) 614-6352.

IN WITNESS WHEREOF, the undersigned has caused this Certificate to be executed on behalf of the Association in compliance with Section 209.004 of the Texas Property Code. This Certificate shall serve to take the place of all Management Certificates previously filed on behalf of the Association.

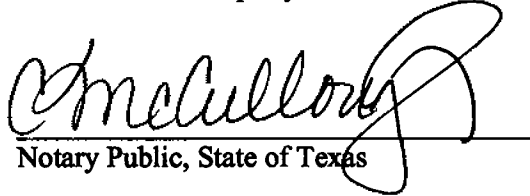
ASSOCIATION:

**HENCKEN RANCH ESTATES
PROPERTY OWNERS ASSOCIATION,
a Texas non-profit corporation**

By: 
Michelle Parsons
Its: President

STATE OF TEXAS §
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COUNTY OF TARRANT §

This instrument was acknowledged before me on the 04th day of November, 2021, by Michelle Parsons, duly elected President of Hencken Ranch Estates Property Owners Association, a Texas non-profit corporation.



Notary Public, State of Texas

